

# Building Survey Report

Of

[REDACTED]

[REDACTED]

[REDACTED]

[REDACTED]



[REDACTED] September 2025

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Building Surveys | Party Wall Services | Contract Administration | Project Management | Dilapidations

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## Section A

### Introduction to the report

This Building Survey is produced by an RICS surveyor who has written this report for you to use. If you decide not to act on the advice in this report, you do this at your own risk.

The Building Survey Report aims to:

- help you make a reasoned and informed decision when purchasing the property, or when planning for repairs, maintenance or upgrading of the property
- provide detailed advice on condition
- describe the identifiable risk of potential or hidden defects
- where practicable and agreed, provide an estimate of costs for identified reports; and
- make recommendations as to any further actions or advice which need to be obtained before committing to purchase.

Section B gives an outline description of what the inspection covers. A more detailed description is contained in the 'Description of the RICS Building Survey Service' at the end of this report.

Any extra services provided that are not covered by the terms and conditions of this report must be covered by a separate contract.

After reading this report you may have comments or questions. If so, please contact the RICS surveyor who has written this report for you (contact details are given in section B).

If you want to complain about the service provided by the RICS surveyor, the surveyor will have a "RICS-complaint" handling procedure and will give you a copy if you ask.

## Section B

### About the inspection

<b>Surveyor's name</b>	<b>Company Name</b>
Paul Sarchet BSc (Hons) MRICS	Agrious Surveyors
1184971	
<b>Date of the inspection</b>	<b>Report reference number</b>
September 2025	
<b>Client's name</b>	
<b>Full address of the property</b>	
<b>Weather conditions when the inspection took place</b>	
The weather conditions at the time of the inspection were clear and dry.	
<b>The status of the property when the inspection took place</b>	
The property was unoccupied fully unfurnished at the time of the inspection.	

I inspect the inside and outside of the main building and all permanent outbuildings. I also inspect the parts of the electricity, gas/oil, water, heating, drainage, and other services that can be seen, but these are not tested other than through their normal operation in everyday use. To help describe the condition of the home, I give condition ratings to the main parts (the 'elements') of the building, garage, and some parts outside. Some elements can be made up of several different parts. In the element boxes in parts E, F, G and H, I describe the part that has the worst condition rating first then briefly outline the condition of the other parts. The condition ratings are described as follows.

3	Defects that are serious and/or need to be repaired, replaced, or investigated urgently
2	Defects that need repairing or replacing but are not considered to be either serious or urgent. The property must be maintained in the normal way
1	No repair is currently needed. The property must be maintained in the normal way
NI	Not inspected (see 'Important note' below)

I carefully and thoroughly inspect the property using reasonable efforts to see as much of it as is physically accessible. Where this is not possible an explanation will be provided. I visually inspect roofs, chimneys, and other surfaces on the outside of the building from ground level and, if necessary, from neighbouring public property and with the help of the camera. Flat roofs no more than 3m above ground level are inspected using a ladder where it is safe to do so. I inspect the roof structure from inside the roof space if there is safe access. I examine floor surfaces and under-floor spaces so far as there is safe access and permission from the owner. I am not able to assess the condition of the inside of any chimney, boiler, or other flues. I do not lift fitted carpets or coverings without the owner's consent. Intermittent faults of services may not be apparent on the day of inspection. If I am concerned about parts of the property that the inspection cannot cover, the report will tell you about any further investigations that are needed. Where practicable and agreed I report on the cost of any work for identified repairs and make recommendations on how these repairs should be carried out. Some maintenance and repairs I suggest may be expensive. Purely cosmetic and minor maintenance defects that have no effect on performance might not be reported. The report that I provide is not a warranty.

## Section C

### About the Property

#### Type of Property

The subject property comprises of semi-detached residential dwelling which briefly comprises of a lounge, dining room and kitchen and to the ground floor, with three bedrooms and bathroom to the first floor.

#### Approximate year the property was built

Based on my knowledge of the area and housing styles, it is deduced that the property would have been constructed in the early 1930's.

#### Approximate year the property was extended

The property has not been extended.

#### Approximate year the property was converted

The property has not been converted.

#### Construction

The property is built using traditional materials and techniques. The roof is built of timber trusses and with a square edged clay tile finish. The ground and first floor are of timber joist construction with timber boards laid over. The external walls are of solid masonry wall construction with a rendered finish to the majority of elevations.

#### Means of Escape

The means of escape/fire precautions in the property may be considered good in light of the layout of a residential property having the only staircase within the hallway with direct access to the front entrance door and then to the street. As kitchens represent a high-risk area within a residential property, it is recommended that the door to the kitchen can be closed. Note also if the front door is locked at night, the keys should be readily available and accessible.

#### Security

Security to the property consists of physical measures of window and door locks. The property is served to the front by a timber door set with glazed panels set in a timber frame. To the rear of the dining room is a sliding aluminium patio door set with full-height glazing. The glazing to these doors could be a weak point of access for intruders, however, they would need to access the rear garden.

#### Energy

I have not prepared the Energy Performance Certificate (EPC). If I have seen the EPC, then I will present the ratings here. I have not checked these ratings and so cannot comment on their accuracy.



## Energy Efficiency Rating

The energy-efficiency rating can be issued by the Vendor's agent.

## Section D

### Summary of repairs (and cost guidance)

Below is an indication of costs for the key defects highlighted during my inspection. Formal quotations should be obtained prior to legal commitment to purchase the property.

	<i>Description</i>	£
	Cleaning and pointing repairs to chimney stacks	
	Clear main roof and undertake localised tile repairs/ replacement and bedding mortar repairs	
	Replace covering to rear dormer	
	Clear and seal gutters and downpipes	
	External timber preparations and decorations, including windows & doors	
	Hairline crack repairs and decorations to external rendered finishes	
	Replace lintel above side kitchen/ garage door and masonry repairs	
	Pointing repairs to brickwork	
	Allowance for electrical rewiring works	
	Allowance for heating/ pipework works	
	CCTV survey and allowance for subsequent drainage repairs (TBC from survey)	
	External repairs to form new driveway to front, including sub-base	
	Remove existing lean-to roof to garage and replace with mineral felt cover	
	Sub-total	
	VAT at 20%	
	<b>Total</b>	

## Section E

### Outside the property

#### Limitations to inspection

The report excludes and investigation into the structural design and compliance with current building legislation except insofar as such matters have come to light in the normal course of the investigation of materials and state of repair.

#### E1 Chimney stacks

2

The property has two chimney stacks associated to it, one located to rear left of the property and the other to the centre which is shared with the neighbouring property. The stacks are of solid masonry construction with a brick crown cap. The pointing to the stack was noted to be in good order with some small areas of moss growth was noted to the brickwork, which overtime can cause the pointing to loosen, and it is recommended that these areas are cleaned.



1 - Chimney stack to centre



2 - Chimney stack to left elevation

#### E2 Roof coverings

2

The roof of the main building is pitched roof consisting of square edged clay tiles onto timber battens across the rafters with ridges having half-round ridge tiles with mortar pointing. Such tiles typically have a lifespan of 80 to 100 years or more with regular maintenance. Given the age of the property, it would be expected that the roof tiles may require replacement within the next 5 to 8 years.

To the elevations moss and lichen growth were noted to the tiles, particularly to the rear along with some damaged, slipped and missing tiles. Over time this can damage and delaminate the tile causing leaks. It is recommended that works to clear the roof tiles is carried out and allow to and undertake bedding repairs to the various ridge tiles identified during those works.



Inspection from the ground gave a reasonable view but close inspection is recommended by a suitable contractor. At the time of the inspection no significant evidence of current leaking noted within the main roof void or the rooms below. As moss growth was noted and that there were gaps to the roof tiles it is possible that some of the tiles have delaminated to a point that these may deteriorated further, causing leaks in the future.

To the rear dormer is a flat roof which is covered with mineral felt covering which was found to be in poor order with some cracks to the felt and slight moss growth. Due to the condition of the flat roof section, it is recommended that this is stripped and replaced.

To the rear bay window to the kitchen is a further flat roof which is weathered with a mineral felt covering. This was noted to be in good order, but it would be recommended to clear general moss growth. Mineral felt coverings would typically have an expected lifespan of 35 years with regular maintenance.



3 – Roof tiles to main roof, front



4 – Roof tiles to main roof, front



5 – Slipped/ damaged tiles to front



6 – Roof tiles to main roof, front



7 - Roof tiles to main roof, rear



8 - Roof tiles to main roof, rear



9 - Flat roof above rear dormer



10 - Flat roof above rear bay window

## E3 Rainwater pipes and gutters

2

The rainwater goods to the property comprise of uPVC gutters and downpipes to the front, side and rear elevations. These were generally found to be in reasonable order, with vegetation growth blocking the gutters and some localised staining was noted to some of the joints. It is recommended that all gutters are cleared initially and then joints checked and sealed on a cyclical basis.



11 – uPVC rainwater goods



12 – uPVC rainwater goods

## E4 Main walls

2

The outside main external walls to the building generally consist of solid 225mm (9") brickwork with the elevations being finished with a rendered covering, with fair faced brickwork at low level in a Flemish bond. The main walls were noted to be in reasonable order with no significant distortion or damage was noted to the main elevations.

Between the kitchen and lean-to garage is a doorway which has is a later addition to the original construction of the property. The opening has been supported via a timber lintel which was noted to be in poor condition and of a minimum span. This has caused localised settlement cracking above and as such it is recommended that the lintel be replaced and general repairs to the wall and render carried out.

The rendered finish to the property was found to be good order, however, a small number of localised hairline cracking was noted, particularly to the side elevation. It would be recommended that works are carried out to cut out and repair the cracking when undertaking external decorations within the next 12 to 18 months. It is then recommended that the elevations are decorated on a cyclical basis of every 5 to 6 years.

The pointing to the front and rear bay windows were noted to be loose and missing in part. Works to remove further loose sections and repoint these areas would be recommended and carried out within the next 6 to 12 months.

Dampness testing was carried out to the ground floor to various areas and a usual and acceptable reading of around 12% to 18% were recorded which is normal for solid masonry walls.



I was unable to gain sight of the foundations and therefore cannot confirm the type or depth and condition. At present, it would appear that these remain appropriate and provide adequate support to the building. It is however imperative that insurance is placed immediately on your purchase of the property which should include adequate subsidence cover in the unlikely event of this development.

To the front of the property is a large pine tree and due to the size and proximity to the property I cannot be categorical that such movement to the property will not recur in the future.

It is also recommended that you seek from your legal representative of any historical insurance claims that may have been made in respect of any structural issues to the property.



13 – Front elevation



14 – Loose pointing to front bay



15 – Rendered finish to side elevation



16 – Localised hairline cracking to side elevation



17 - Timber lintel above side door



18 - Wall above side door



19 - Rear elevation



20 - Loose pointing to rear bay

## E5 Windows

2

The windows to the ground floor front elevation of the property are of timber construction with single glazed panels with casement and pivot openings to the various frames. The windows were noted to be in reasonable order, and the decorations were found to be flaking and in need of localised repair and decoration, including replacing missing and damaged ironmongery within the next 12 months. It would also be recommended to ease and adjust the individual openings.

The remaining windows throughout the property are of uPVC construction with uPVC frames and mechanism openings to the various casements. The windows were noted to be in good order, with some debris build-up within the frame making the windows slightly stiff to open. These will require a deep clean with some ease and adjustment in order for them to operate fully.



21 - uPVC window to front bedroom



22 - Timber casement window to lounge



23 - Poor decorations to timber windows



24 - uPVC bay window to kitchen





25 - uPVC windows to side elevation

## E6 Outside doors

2

The property is served to the front by a timber door set with glazed panels set in a timber frame. To the rear of the dining room is a sliding aluminium patio door set with full-height glazing.

A number of panels within the uPVC frames were noted to have condensation. This would indicate that the seals have failed and as such it is recommended that the damaged panes are replaced. It would also be recommended to prepare and decorate the main entrance door within the next 12 months.



26 - Main entrance door



27 - Sliding patio door to rear

## E7 Conservatory and porches

n/a

## E8 Other joinery and finishes

2

Sections of some of the fascia boards to the front canopy are finished with uPVC cladding. These should be cleaned on a cyclical basis of every 5 to 6 years but should be next cleaned within the next 12 to 18 months. It was not possible to confirm the condition of the supporting timbers beneath.

Other sections of the existing soffits and fascia boards are of timber and were found to be in reasonable order, however, it would appear that these have not been decorated for a number of years. These will require general rub down and preparations prior to decoration and it would be recommended that this is undertaken within the next 12 to 18 months to prevent potential damage to the timber then on cyclical basis every 5 to 6 years.



28 – Timber soffit and fascia board



29 – Timber soffit and fascia board



## Section F

### Inside the property

#### Limitations to inspection

In order to discover evidence of present or potential defects to enable us to report as outlined above, my inspection extended to all areas accessible to both the interior and exterior of the house without carrying out damaging exposure works or the use of long ladders. I must point out that I have not lifted floorboards, or all fitted carpets or floor finishes throughout the premises as this would require the assistance of tradesmen and/ or special permission from the vendor. In this regard there are of course, in any building, many other elements which remain concealed after initial construction, which cannot be effectively inspected subsequently. I am bound to point out that I have not inspected woodwork, steelwork, concrete or other parts of the structure and fabric of the property which were covered, unexposed or inaccessible and cannot, therefore report that such parts of the property are free from rot, beetle infestation, corrosion or other defects. I would confirm that I have not tested any of the service installations, incoming mains, waste and drains etc. nor have they been exposed or checked in detail as is necessary to form a precise guide to their safety, adequacy and standard of installation. Such procedures would, however, be necessary to provide you with full information of the recommended maintenance and repair work to be arranged both now and in the future. I would however refer you to our brief comments under the various service installation headings later within this report. These are presented merely for your own preliminary guidance so that you may instruct specialist contractors if you elect to proceed.

#### F1 Roof structure

2

The roof structure is of traditional design and consists of the tiles and battens fixed to the rafters spanning ridge to timber wall plate to the main walls, with purlins mid-span of the rafter strutted down to bear onto internal walls. The rafters are retained by timber joists forming the ceiling of plaster below, and with mineral wool insulation between and over the joists. The roof was found to hold good alignment with no significant signs of distortion.

To the majority of the roof the timber trusses have been covered with plasterboard to form the bedrooms and bathroom, so it was not possible to review the condition of those timbers.

The majority of plasterboard lining within the roof void were found to have thermal cracking and it is likely that large areas would need to be removed and replaced when undertaking general internal decorations.



30 – Roof void



31 – Roof void



32 - Roof void



33 - Thermal cracking to plaster



34 - Thermal movement adjacent to front valley

## F2 Ceilings

2

The ceilings are made of a mixture of older plaster and modern plasterboard. The ceilings to the property can become unstable when the layer of plaster becomes detached from the timber laths above. Although there are no particular problems now, but you should expect more repairs in the future especially when you redecorate and remove existing paper and timber ship lap coverings from the ceiling as this may remove sections of the plaster above.

The ceiling to bedroom 3 is of plasterboard with an Artex covering. The ceilings were found to generally be in good order and free from signs of significant distortion. Localised hairline cracks were typically noted at junctions between the walls and ceilings. These can be repaired when undertaking general internal decorations. To the ceilings that have been covered with an Artex finish, these can contain low levels of asbestos, and it is recommended that these areas are tested prior to any removal or major works undertaken to the ceilings.



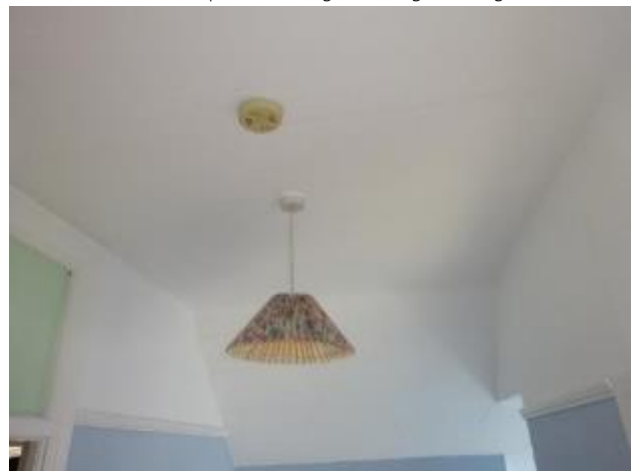
35 - Paper covering to lounge ceiling



36 - Paper covering to lounge ceiling



37 - Timber ship lap finish to utility room



38 - Paper covering to landing ceiling



39 - Paper covering to ceiling to bedroom 1

## F3 Walls and partitions

2

The internal partitions to the property generally hold good alignment with little evidence of any undue movement or deflection and therefore I conclude that these remain currently structurally stable.

It is understood that there is a requirement to remove the wall between the lounge/ dining room and kitchen. This would be permissible however as this is a load bearing wall it would require sufficient support via an RSJ and will require Building Regulation approval.

Internally the external walls are finished with various plaster coatings, either painted directly or have a plasterboard lining. The internal walls are finished with plasterboard with a painted finish. The finishes generally remain in dated and reasonable condition with no significant evidence of cracking/ movement. Some additional minor hairline cracking was noted, typically to junctions of ceilings and walls and above doorways.

Where walls have been finished with a paper covering it is likely that sections of the plaster beneath will work loose when removed and additional plaster repairs would be required.

To the walls that have been covered with an Artex finish, such as the kitchen, utility and ground floor shower room, can contain low levels of asbestos, and it is recommended that these areas are tested prior to any removal or major works undertaken to the walls.



40 – Lounge



41 – Lounge



42 – Artex covering to utility room wall

## F4 Floors

2

The subject properties floor comprises of timber joists beneath floorboards to the ground and upper floors which were generally noted to be in good order and firm under foot, with the exception of high trafficked areas within the rooms. It would be recommended to secure loose boards when replacing floor finishes throughout the property.

The broadloom carpets and other floor finishes were noted to be in reasonable but dated order, but the carpets may require replacement within the next 6 months, or during the next cyclical decoration works.



43 – Broadloom carpet to lounge



44 – Vinyl flooring to kitchen



45 – Broadloom carpet to landing



## F5 Fireplaces, chimney breast and flues

2

The property has chimney breasts positioned within the lounge and kitchen, and it would be recommended to seek on when the chimney stacks would have been last cleared. The chimney breasts located in the lounge/ dining room/ bedrooms were noted to be blocked over and not vented. It is recommended that vents are installed to prevent moisture buildup within the stack.



46 – Fireplace within the lounge

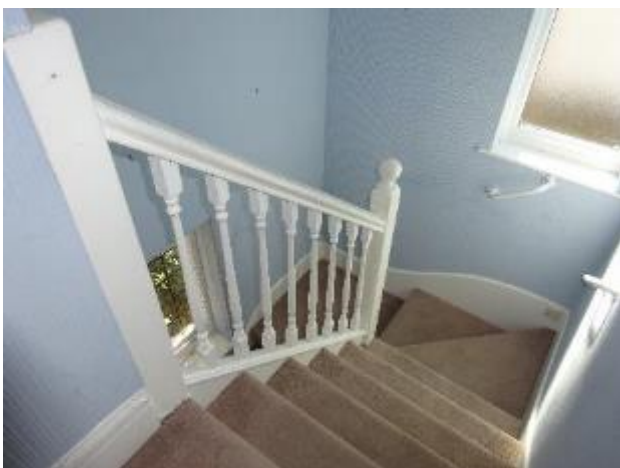


47 – Chimney breast within the kitchen

## F6 Woodworks

2

The timber joinery, including skirting boards, doors, door frames and architrave were noted to be in reasonable order and were noted to be decorated to a reasonable quality. It would be recommended to undertake general repairs to some of the door frames and carry out repairs and decorations throughout the property within the next 12 months and then on a cyclical basis of every 4 to 5 years.



48 – Timber balustrade to staircase



49 – Typical internal timber door set

## F7 Kitchen and bathroom fittings

2

The subject property comprises of a kitchen, utility room and shower room to the ground floor, and bathroom on the first floor. Both the kitchen and bathroom are dated, and it is recommended that both are replaced within the next few years.



50 - Kitchen



51 - Kitchen



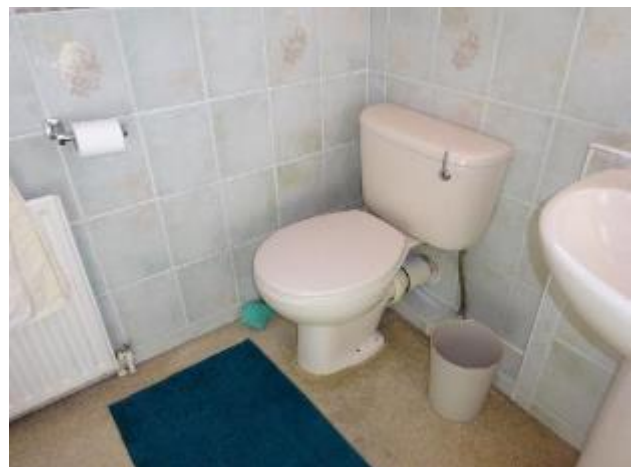
52 - Utility room



53 - Shower room



54 - Bathroom



55 - Bathroom

## Section G

### Services

#### Limitations to inspection

Services are generally hidden within the construction of the property. This means that I can only inspect the visible parts of the available services, and I do not carry out specialist tests. The visual inspection cannot assess the services to make sure they work efficiently and safely and meet modern standards. I have not been instructed to commission any inspections or tests of the mechanical, electrical, or public health facilities. The comments are based upon my own observations and do not constitute a detailed engineering appraisal.

#### G1 Electricity

*Safety warning: The Electrical Safety Council recommends that you should get a registered electrician to check the property and its electrical fittings and that a periodic inspection and testing is carried out at the following times: for tenanted properties every 5 years or at each change of occupancy, whichever is sooner; at least every 10 years for an owner-occupied home. All electrical installation work undertaken after 1 January 2005 should have appropriate certification. For more advice contact the Electrical Safety Council.*

The electrical main enters the property, presumably underground, where it rises to a termination junction leading to the meter and then the fuse board positioned within the cupboard under the staircase. It appears as a single phase 240-volt supply feeding a meter and in turn to a fuse board.

The fuse board is dated along with the wiring, and I would recommend that the property is fully rewired throughout.

Whilst I cannot fully confirm the serviceability and condition of the current electrical installation and considering the age of the ring and lighting installations, I would still recommend an independent full electrical test by an approved contractor to confirm its serviceability and working order in the interim.



56 – Main incoming electrical supply



57 – Electrical fuse board



## G2 Gas/ Oil

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*Safety warning: All gas and oil appliances and equipment should regularly be inspected, tested, maintained and serviced by an appropriately qualified Gas Safe Engineer or Registered Heating Engineer and in line with the manufacturer's instructions. For tenanted properties by law a 12 monthly gas safety check must be carried out on every gas appliance/flue. A gas safety check will make sure gas fittings and appliances are safe to use. This is important to make sure that the equipment is working correctly, to limit the risk of fire and carbon monoxide poisoning and to prevent carbon dioxide and other greenhouse gases from leaking into the air. For more advice contact the Gas Safe Register for gas installations, and OFTEC for oil installations.*

The gas main enters below ground and rises to the meter situated within the utility room cupboard. The installation appeared in good order and copper pipework runs to serve the various gas-fired appliances throughout the property. In many instances, the gas supplied pipework was concealed from view however where this was visible this remained in good order. I have no reason to suspect that the gas supply pipework is in anything other than good and proper condition at this time. As a minimum, I would recommend that the gas fire appliances that are to be retained are serviced by a GasSafe registered engineer to ensure that these remain in safe and proper working order.



58 – Main incoming gas supply

## G3 Water

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The cold-water main enters the property from the street. The pipework I believe distributes directly to serve the kitchen sink in accordance with current water bylaws, and also the boiler. In most instances, the supply pipework was concealed from view and could not be inspected in detail however from a visual inspection the installation appears serviceable and in working order. The insulation to the pipework is with traditional materials and appears to a good standard.

## G4 Heating

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The property is served with a wall mounted boiler located within the utility room and serves the heating and hot water. The boiler from a visual inspection appears serviceable and was isolated at the time of the inspection. I would anticipate that the boiler is at around 9+ years old and therefore its estimated useful life expectancy is limited to approximately 15 years assuming the installation is regularly maintained and serviced.

Copies of any recent services should be obtained and if the boiler has not been serviced within the last 12 months, then it is recommended that one is carried out by a qualified engineer.

Given the general condition of the existing heating system and the requirement for full refurbishment throughout the property it would be recommended to consider upgrading and changing the heating system and boiler.



59 – Gas fired boiler

## G5 Water heating

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Hot water is provided via the boiler referred to under the heading G4 Heating, then distributed to the various sanitary fixtures and fittings throughout the property. In many instances, the copper pipework is concealed within the service areas of the house. In general, the pipework I believe remains in good order.

As previously mentioned, given the general condition of the existing heating system and the requirement for full refurbishment throughout the property it would be recommended to consider upgrading and changing the heating system and boiler.

## G6 Drainage

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The main drainage is from vitreous clay/ plastic pipework and 'separate' drains – that is to say one takes surface water (rain) and the other foul water (WCs, 'grey' sink and bath water). Being as old as the system is, I cannot confirm the integrity of the pipework or their connections and recommend this is checked if any problems arise. Drainage internally from the various plumbing and sanitary facilities I believe is run via uPVC pipework, however, in all instances, this was mostly concealed from view and therefore could not be inspected in detail. I have no reason to suspect that this is in anything other than serviceable condition at this time.

Due to the proximity of the large pine tree and how uneven the hardstanding concrete driveway is to the side and front of the property it would be recommended that a below ground CCTV survey of the drains is carried out to confirm the condition of the below ground drains.

## Section H

### Grounds

#### Limitations to inspection

No detailed investigations or tests have been carried out in respect of contamination on the site or the risk of contaminated land on any adjoining sites unless I have otherwise been instructed to commission the same.

#### H1 Garden

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The property has access from the front via the main driveway which comprises of hardstanding concrete providing access to the front entrance. The driveway was found to be in poor order and heavily cracked due to the proximity of the tree to the front of the house. The masonry wall to the front boundary was also note be damaged from ground settlement. It would be expected that the hardstanding and paving slabs would need to be removed and new finish installed with revised sub-base.

The property has grounds to the rear with access from the lounge and side access gate. The garden is mainly laid to lawn with an area of concrete slabs forming a patio which was noted to have some cracking and unevenness.

The rear garden is bordered with timber fence panels set in concrete posts, these were generally found to be in good order. It would be recommended to understand from your legal representative which boundary side you are responsible for.



60 – Masonry boundary wall



61 – Concrete slabs to front garden





62 – Heavy cracked hardstanding concrete



63 – Side access gate



64 – Paving to rear



65 – Paving to rear



66 – Rear garden

## H2 Permanent outbuildings

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n/a

### H3 Garage

To the side of the property is a lean-to structure forming a garage. The external walls are of single skin brickwork. Settlement movement was noted to the rear junction between the rear wall of the house and garage. Works would be required to tie the walls together in order to prevent further movement.

The lean-to roof comprises of profiled asbestos panels which were noted to have heavy moss growth. It would be recommended to strip, remove and replace the roof with a new system. The existing panels would need to be removed and safely disposed of via a specialist contractor.



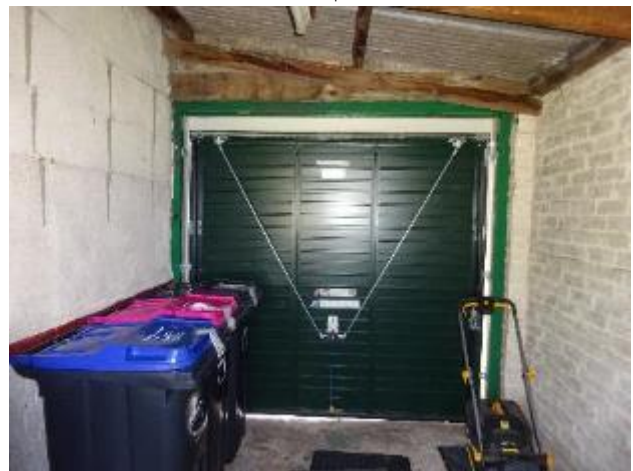
67 - Garage



68 - Asbestos profiled roof



69 - uPVC door to rear



70 - Garage internally



71 - Garage internally



72 - Settlement/ movement cracking

## Section I

### Issues for your legal advisers

I do not act as the legal adviser and will not comment on any legal documents. However, if during the inspection I identify issues that the legal advisers may need to investigate further, these will be listed and explained in this section (for example, check whether there is a warranty covering replacement windows). You should show your legal adviser this section of the report.

#### I1 Regulation

n/a

#### I2 Guarantees

n/a



## Section J

### Risks

This section summarises defects and issues that present a risk to the building or grounds, or a safety risk to people. These may have been reported, and condition rated against more than one part of the property or may be of a more general nature, having existed for some time and which cannot be reasonably changed.

#### J1 Risks to the building

n/a

#### J2 Risks to the grounds

n/a

#### J3 Risks to people

It was noted that it is likely that the profiled roof panels to the garage roof may contain asbestos and should be tested and if required, removed by a specialist contractor.



## Appendix A

### Limitations of survey

## Limitations of Survey

- 1 I have not been able to inspect woodwork or other parts of the structure which were covered by floor coverings, fixtures, fittings, wall linings, suspended ceilings, furniture, and other fittings, which were unexposed or inaccessible, and I am therefore unable to report that such parts remain free from defects.
- 2 No part of the building has been opened up for inspection other than where indicated in the report, nor have any of the services or drainage installations been tested, unless by specialists where instructed by you or on your behalf. As a result, I cannot confirm that defects do not exist in those parts of the building which are concealed, or inaccessible, or in the services or drainage installations which have not been tested.
- 3 I have not been able to inspect flues, ducts, voids, or any similarly enclosed areas the access to which would have necessitated the use of specialist tools, or which would cause damage to fixtures and finishes, and I am therefore unable to report that such areas remain free from defect.
- 4 If the property was occupied during the time of my inspection my work may have been limited. If I feel that there are any areas which require intrusive investigation or that my survey has been limited, you will have been advised accordingly.
- 5 The report excludes any detailed investigation into the presence of deleterious materials in the structure and fabric of the building and no concrete sampling or analysis has been undertaken on your behalf, unless otherwise instructed. I recommend that your further negotiations should be subject to the vendor providing written confirmation that no use has been made of the following materials in the building:  
 Calcium chloride concrete additives  
 High alumina cement  
 Fibrous asbestos  
 Wood wool slab permanent formwork  
 Calcium silicate bricks and brick slips  
 Aggregates for use in reinforced concrete which do not comply with British Standard Specification 882:1983 and aggregates for use in concrete which do not comply with the provisions of British Standard Specification 8110:1985  
 Urea formaldehyde  
 Vermiculite plaster  
 Lead pipes for drinking water  
 Other substances generally known to be deleterious
- 6 If during my inspections I have seen any areas where I consider asbestos may have been used, you will have been advised accordingly. You will appreciate however, that identification of areas where the product could have been used will have been identified "in passing" and if you have any particular aversion to this product being contained in your premises you may wish to consider commissioning of a specialist intrusive survey in this respect.
- 7 The report excludes any investigation into the structural design and compliance with current building legislation, except insofar as such matters have come to light in the normal course of investigation of materials and state of repair.
- 8 No detailed investigations or tests have been carried out in respect of contamination on the site or the risk of contaminated land on any adjoining sites unless I have otherwise been instructed to commission the same.
- 9 It is assumed that in the course of normal searches your legal advisers will investigate the position regarding Town and County Planning Acts, Fire Certificates and other statutory approvals and restrictions, as well as liabilities for boundaries, rights of way, restrictive or other agreements with adjoining owners.
- 10 My report does not constitute a specialist Health and Safety Risk Assessment, although I have made comment in this regard insofar as such matters come to light in the normal course of inspection.
- 11 In accordance with my normal practice I would stress that this report is for your sole use and is confidential to you for the specific purpose stated herein. No liability to any third party (including your other professional advisers) can be accepted for the whole or any part of its contents. Neither the whole nor any part of the report, nor any reference thereto, may be disclosed or sent to any third party, or included in any published document, circular or statement nor published in any way without my prior written approval.
- 12 For the purposes of the Contracts (Right of Third Parties) Act 1999, nothing in this appointment shall confer or purport to confer on any third party any benefit or the right to enforce any term of this appointment.



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